

Contents Schedule

Sheet Number	Drawing Name
2	Floor Plan
3	Elevations
4	Existing Site Plan
5	Demolition Site Plan
6	Site Plan
7	Landscape Plan
8	Drainage Plan
9	Door/Window Schedule, Section A-A, Basix Notes & External Colours
10	Electrical Plan
11	Shadow Diagrams (21st June)

Revisions Schedule

#	Date	By	Description
A	29-10-2024	FT	Sketch
B	11-11-2024	FT	Re-design
C	21-11-2024	FT	Changes
D	19-12-2024	FT	Working Drawing
E	20-12-2024	JG	Basix & NatHERS Notes
F	20-1-2025	JG	Flood Changes
G	15-3-2025	JG	External Colours



Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567  
1300 163 163  
DEVINEDRAFTING.COM.AU

NOTES

- 1. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
- 2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
- 3. ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
- 4. DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
- 5. ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

Any 3D perspectives shown are for illustrative purposes only

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

Proposed Secondary Dwelling

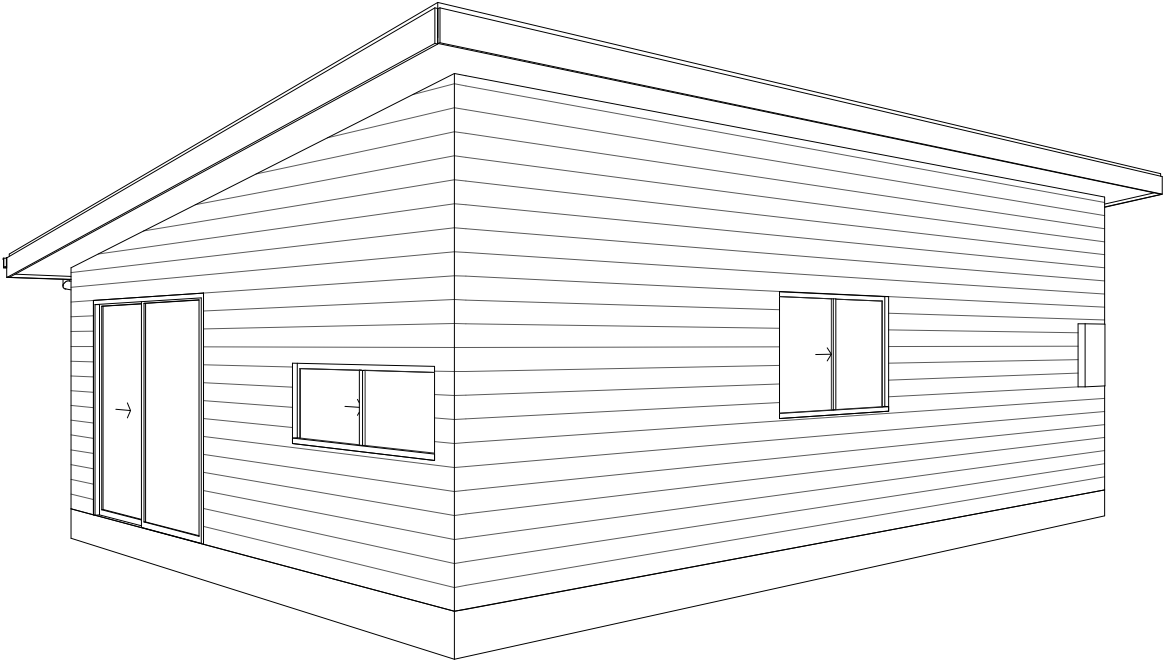
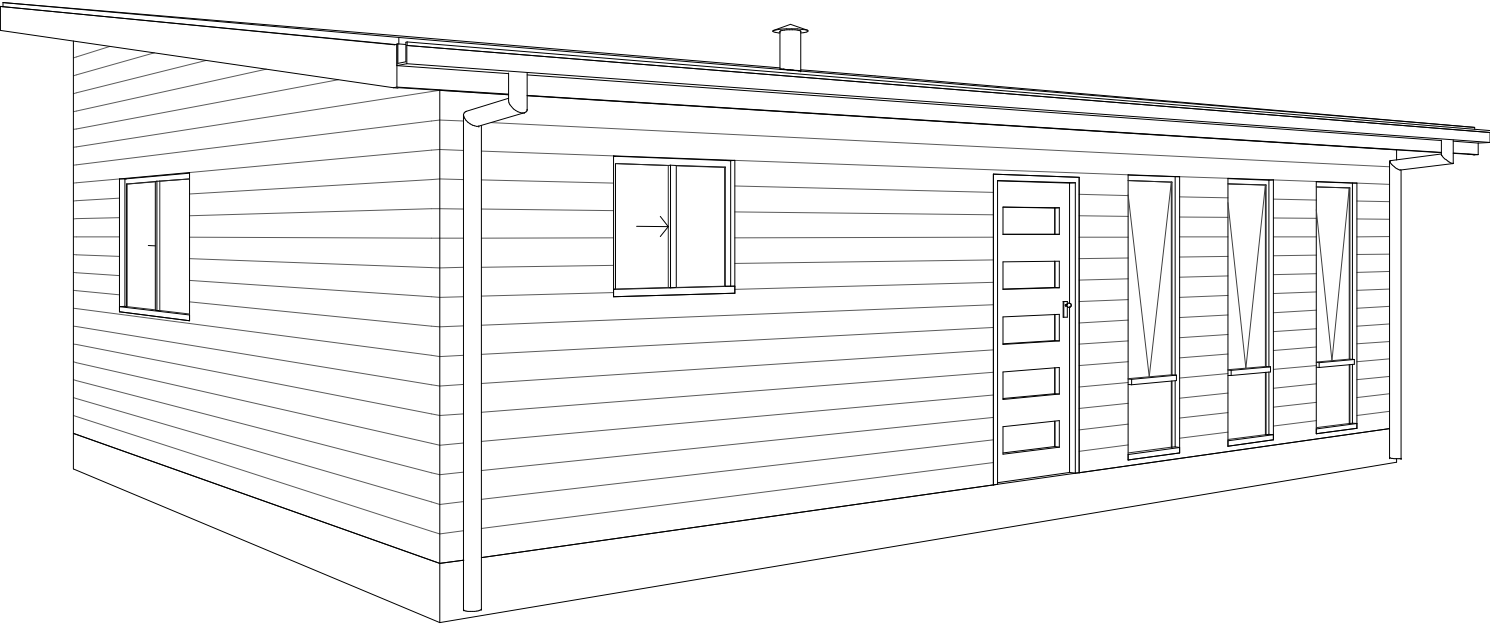
Flood Zone

LGA: Canterbury - Bankstown	Zone: R4
--------------------------------	-------------

APPLICATION TYPE:  
DA

JOB NUMBER:  
24154-6 j.g


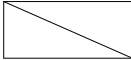

ADDRESS:  
Lot 15 Section 4 DP845  
83 Tempe Street,  
Greenacre, 2190



Flood Level FFRL:41.2m



Working Drawing

-  - Rainwater Tank
-  - A/C Unit
-  - Smoke Alarm

Legend	
obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

NOTES

- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
- ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
- DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
- ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

DRAWING:  
Floor Plan

Working Drawing  
SCALE @ A3:  
As indicated

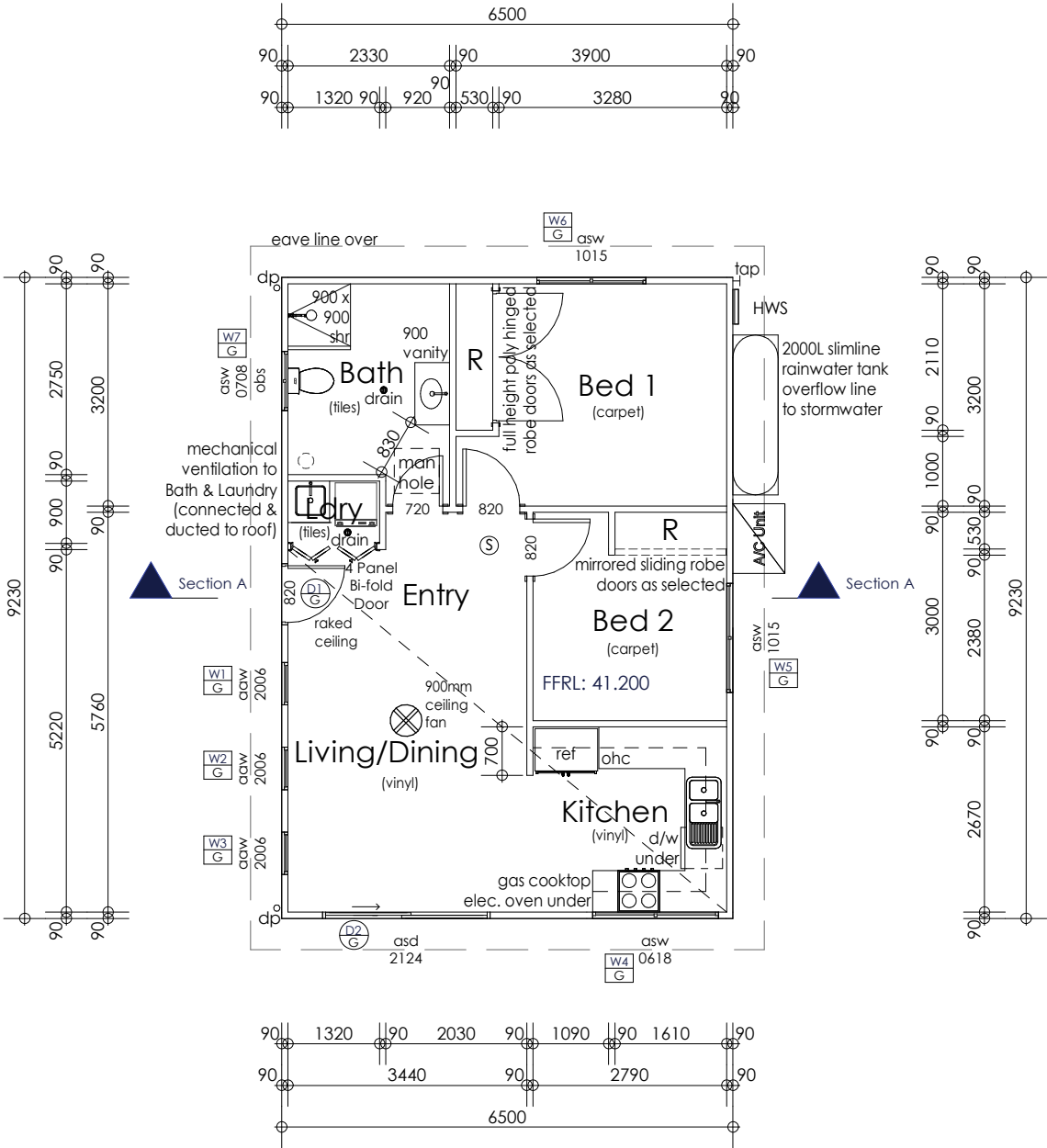
REVISION  
**G**  
15-3-2025

JOB NUMBER: 24154-6 j.g  
PAGE: 2



Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567

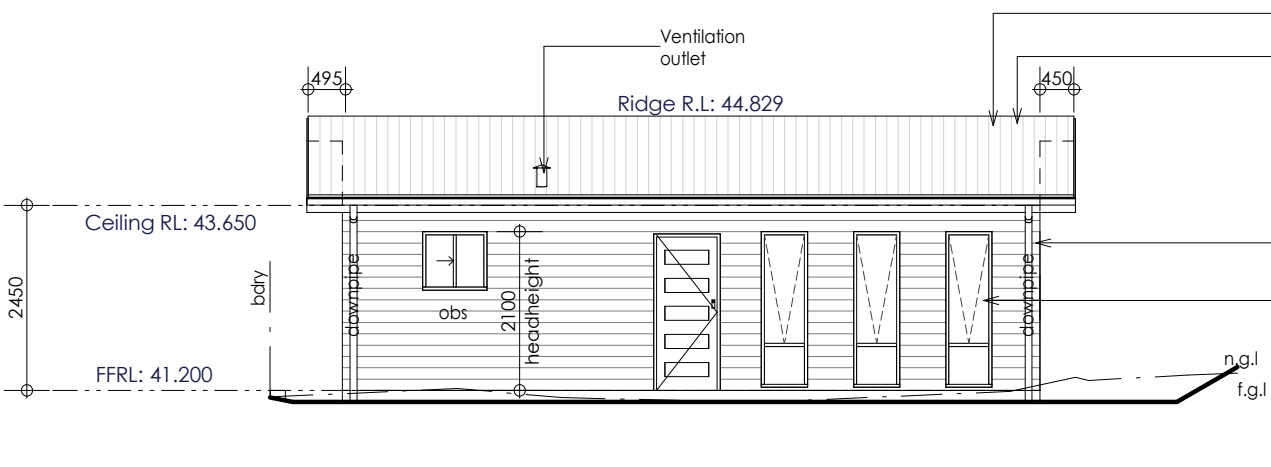
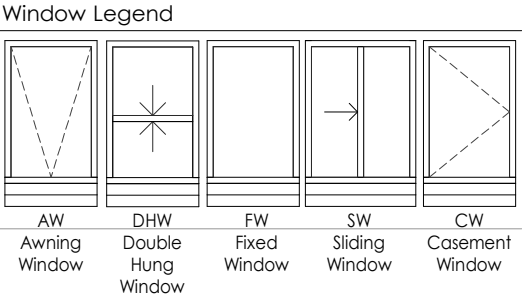
1300 163 163  
DEVINEDRAFTING.COM.AU



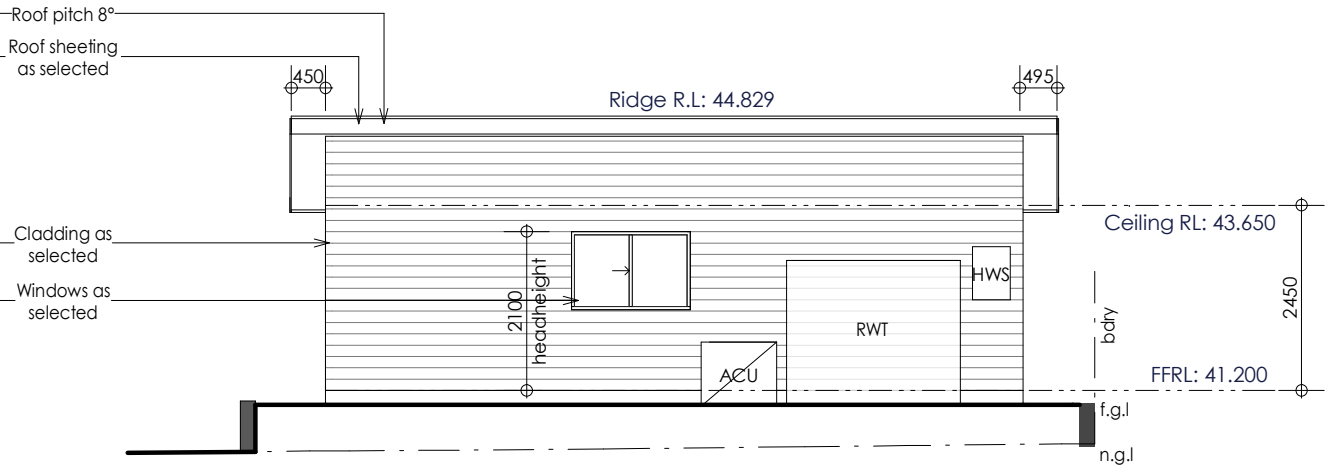
Floor Plan  
1 : 100

Area Schedule (Total Area)	
Name	Area
Secondary Dwelling Living	60.00 m <sup>2</sup>
Existing Dwelling (Total)	172.15 m <sup>2</sup>
Total Area	232.14 m <sup>2</sup>

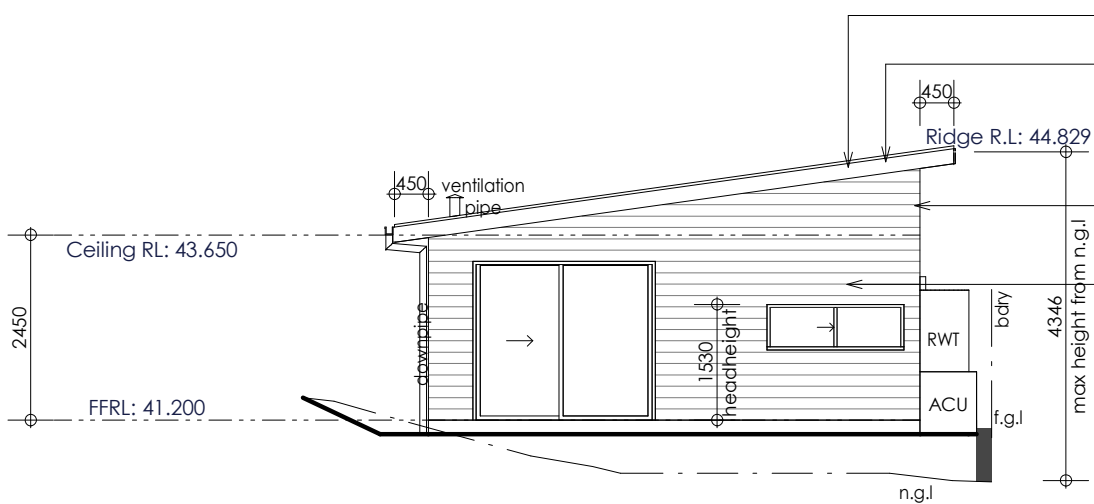
- Legend
- obs Obscured
  - HWS Hot Water Service
  - RWT Rainwater Tank
  - ACU Air-Conditioning Unit
  - aj Articulation/Adjustment Joint
  - deb Drop Edge Beam
  - dp Downpipe
  - POS Private Open Space
  - AAC Autoclaved Aerated Concrete
  - Drainage/Sediment fence line



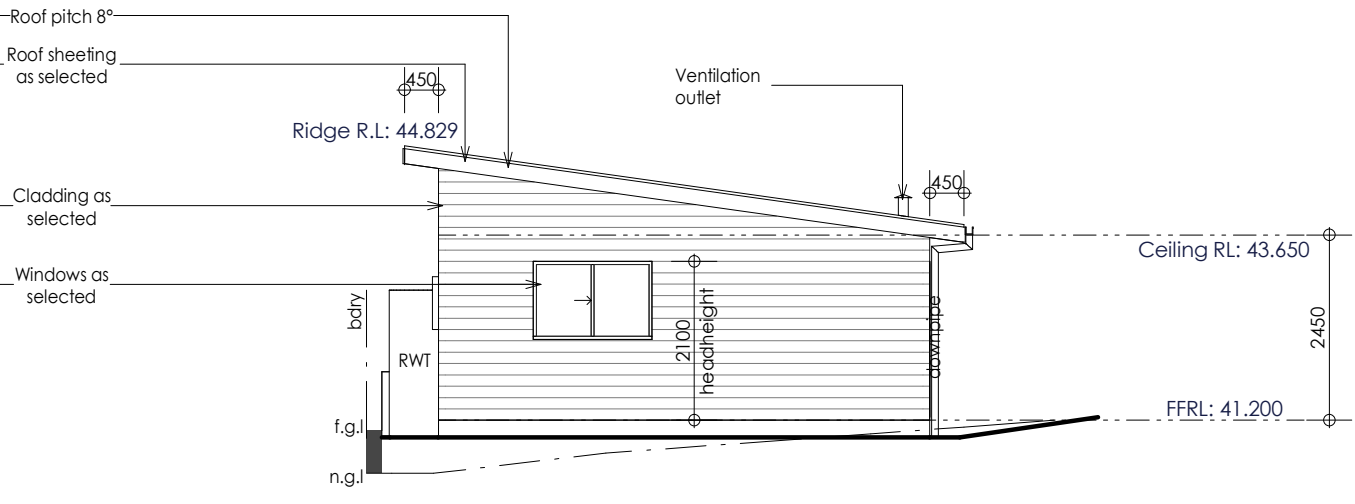
Western Elevation  
1 : 100



Eastern Elevation  
1 : 100



Southern Elevation  
1 : 100



Northern Elevation  
1 : 100

NOTES

- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
- ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
- DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
- ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

DRAWING:  
Elevations

Working Drawing  
SCALE @ A3:  
As indicated

REVISION  
**G**  
15-3-2025

JOB NUMBER:  
**24154-6 j.g**

PAGE:  
**3**

**DEVINE**  
DRAFTING & DESIGN

Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567  
1300 163 163  
DEVINEDRAFTING.COM.AU

LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE

ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED

DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS

ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Buildwise Projects

ADDRESS:  
 15 Section 4 DP845  
 3 Tempe Street  
 Greenacre, 2190

### Proposed Secondary Dwelling

APPROVAL &amp; STAMP

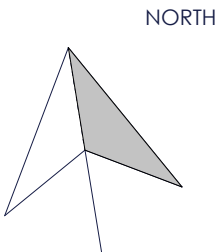
## DRAWING: Existing Site Plan

Working  
drawing  
SCALE @ A3:  
: 200

VISION  
G  
3-2025

JOB NUMBER:  
24154-6 j.g

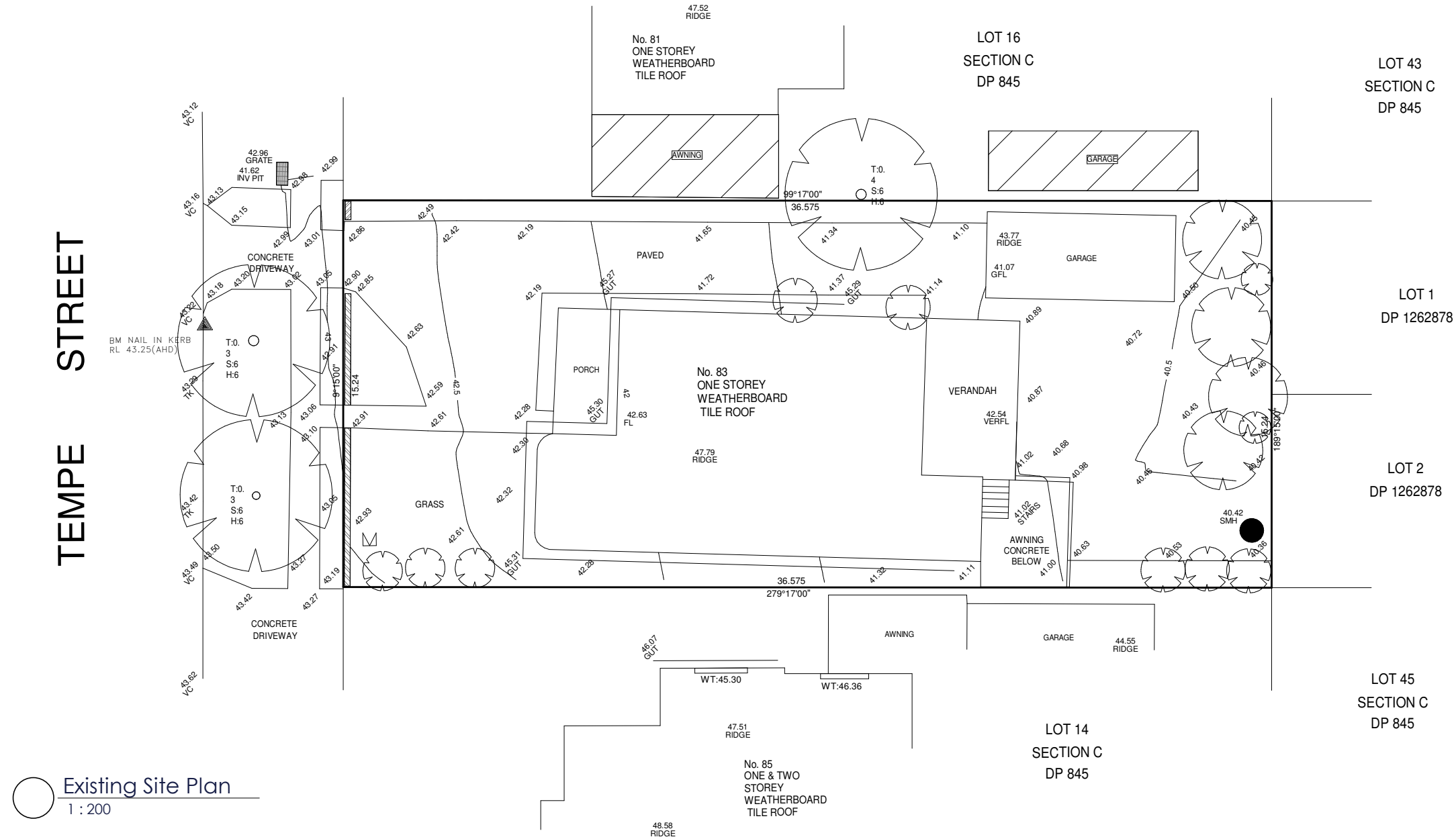
AGE:  
**4**



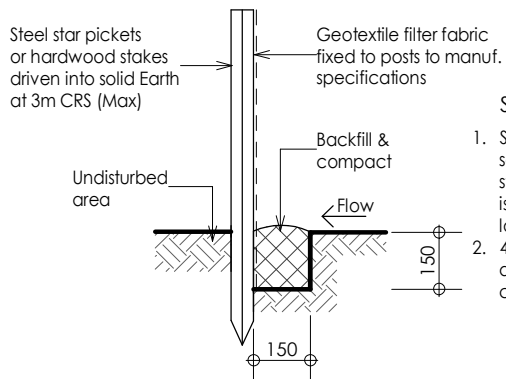
**DEVINE**  
DRAFTING & DESIGN

Suite 5, Level 1, Harrington Plaza  
13 Fairwater Dr, Harrington Park  
NSW 2567

1300 163 163  
DEVINEDRAFTING.COM.AU



Lot 15 Section 4 DP845  
556.40 m<sup>2</sup>



Typical Silt Fence  
1:20

Soil Erosion & Sediment Control

1. Siltation fencing is to be placed as shown on the site plan so as to prevent silt run-off to any adjoining property or to the street. This measure is to be placed prior to any Earthworks and is to be removed only once the sites surface is stable (i.e paving, landscaping, turfing etc)
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction

Legend	
obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

NOTES

1. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
3. ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
4. DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
5. ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

DRAWING:  
**Demolition Site Plan**

Working Drawing  
SCALE @ A3:  
As indicated

REVISION  
**G**  
15-3-2025

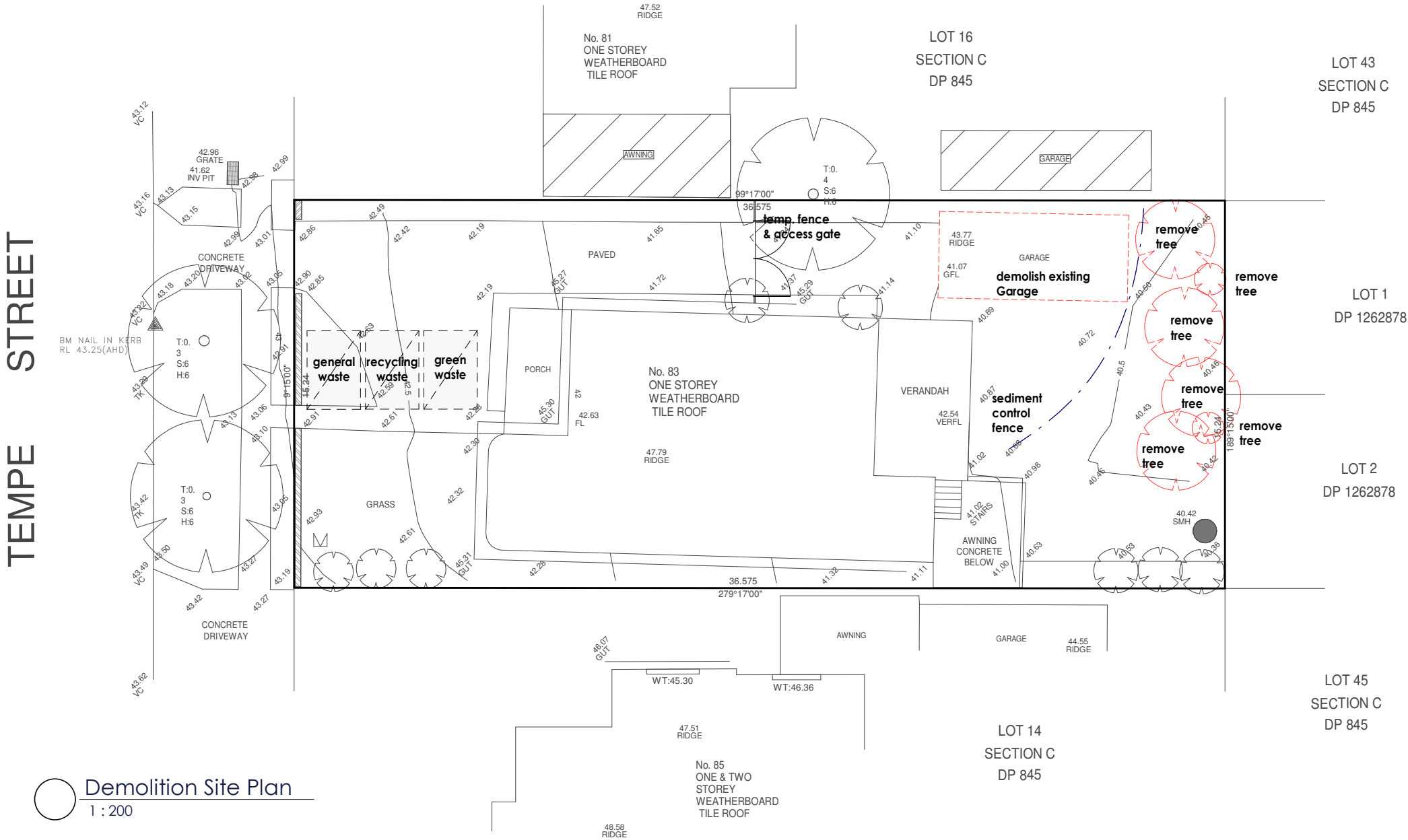
JOB NUMBER:  
**24154-6 j.g**

PAGE:  
**5**



Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567

1300 163 163  
DEVINEDRAFTING.COM.AU



Demolition Site Plan  
1 : 200

NORTH

Lot 15 Section 4 DP845  
556.40 m²

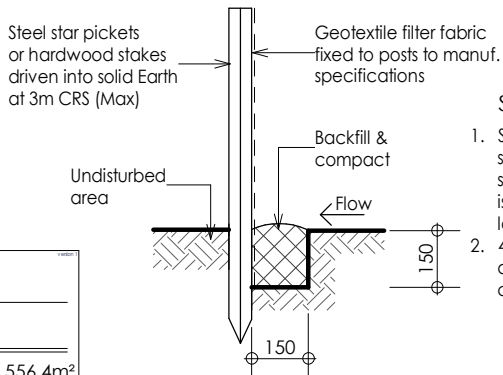
DCP Compliance Table	
Landscaped Area	
Site Area:	556.4m <sup>2</sup>
Frontage Area:	117.44m <sup>2</sup>
Required Landscaped Area: 0%/	0m <sup>2</sup>
Proposed Frontage Landscaping:	45.52m <sup>2</sup>
Proposed Rear Landscaping:	73.51m <sup>2</sup>
Total Landscaped Area:	119.03m <sup>2</sup>

Site Coverage Not Applicable	
Min/Required POS:	80m <sup>2</sup>
Proposed POS:	97.5m <sup>2</sup>
PPOS Required:	NO

Setbacks & Height		
	Required (mm)	Proposed (mm)
Front:	5500mm	7537mm
Side A (lower):	900mm	995mm
Side B (lower):	900mm	5060mm
Rear (lower):	900mm	950mm
Height:	13000mm	4346mm

FSR & GFA**		
LEP FSR Limit:	1:1	556.4m <sup>2</sup>
Proposed GFA:	189.41m <sup>2</sup>	0.340421:1

\*Site Coverage refers to the area measured that is consistent with the common LEP definition/interpretation; the proportion of a site area covered by buildings. However, the following are not included for the purpose of calculating site coverage:-  
(a) any basement;  
(b) any part of an owning that is outside the outer walls of a building and that adjoins the street frontage or other site boundary;  
(c) any eaves;  
(d) unenclosed balconies, decks, pergolas and the like.  
\*\*Gross floor area refers to the area measured that is consistent with the common LEP definition/interpretation; gross floor area has the same meaning as it has in the Standard Instrument. However, in Part 3, 3B, 3C or 3D it means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4m above the floor, and includes habitable rooms in a basement or an attic, but excludes the following:-  
(a) any storage area, vehicle access area, loading area, garbage area or services located in a basement;  
(b) 1 car parking space per dwelling, including access to the parking space, if:-  
(i) the dwelling is not a secondary dwelling, and  
(ii) the excluded area is not more than 10m<sup>2</sup>;  
(c) any terrace or balcony with outer walls less than 1.4m high;  
(d) voids above a floor or the level of a storey or storey above;  
(e) any common area intended to be used by occupants of the building to access dwellings on higher or lower storeys of the building such as a stairwell or lift shaft.



Typical Silt Fence

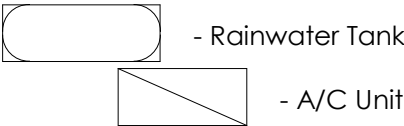
1:20

#### Soil Erosion & Sediment Control

- Siltation fencing is to be placed as shown on the site plan so as to prevent silt run-off to any adjoining property or to the street. This measure is to be placed prior to any Earthworks and is to be removed only once the sites surface is stable (i.e paving, landscaping, turfing etc)
- 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction

Area Schedule (Gross Building)	
Name	Area
Existing Dwelling GFA	132.21 m <sup>2</sup>
GFA	57.20 m <sup>2</sup>
Total Floor Area	189.41 m <sup>2</sup>

Area Schedule (Total Area)	
Name	Area
Secondary Dwelling Living	60.00 m <sup>2</sup>
Existing Dwelling (Total)	172.15 m <sup>2</sup>
Total Area	232.14 m <sup>2</sup>

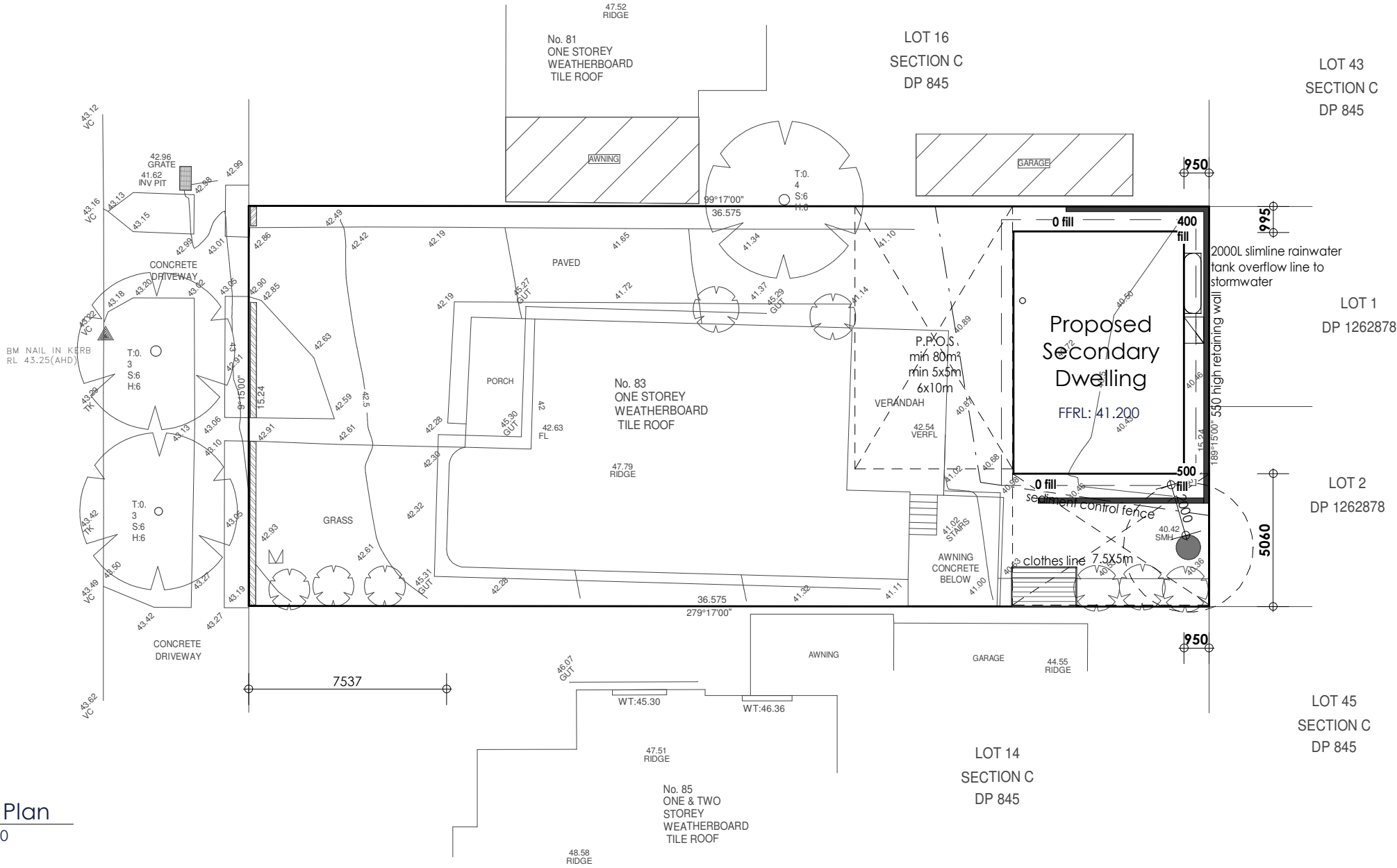


#### Legend

obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line

TEMPE STREET

Site Plan  
1 : 200



Lot 15 Section 4  
DP845 556.40 m<sup>2</sup>

CLIENT NAME:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

DRAWING:  
Site Plan

Proposed Secondary Dwelling

APPROVAL & STAMP

NOTE: ONLY ONE CLIENT IS REQUIRED TO INITIAL/SIGN THE ENCLOSED PLANS SIGNIFYING THE ACCEPTANCE AND AGREEMENT OF THE DESIGN AND REQUIREMENT TO PAY ANY OUTSTANDING ASSOCIATED FEES

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

- NOTES
- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
  - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
  - ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
  - DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
  - ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

**DEVINE**  
DRAFTING & DESIGN  
Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567  
1300 163 163  
DEVINEDRAFTING.COM.AU

Working  
Drawing  
SCALE @ A3  
As indicated

JOB NUMBER:  
**24154-6 j.g**

REVISION  
**G**  
15-3-2025

PAGE  
**6**

NOTES:  
\* All Plants to be planted in premium garden mix and slow release fertilizer  
\* Gardens to be mulched with Eucalyptus Mulch  
\* Plants are to be maintained for 6 months or until established  
\* Any losses are to be replaced

- Turf / Grass
- Garden Bed / Planter Box

No new planting(s) proposed as part of the development

Turfed Area Schedule			
Type	Area	Coverage	Location
Front	Turfed Area	45.52 m²	8.18%
		45.52 m²	8.18%
Rear	Turfed Area	73.51 m²	13.21%
		73.51 m²	13.21%
		119.03 m²	21.39%

- Rainwater Tank

- A/C Unit

obs

Obscured

HWS

Hot Water Service

RWT

Rainwater Tank

ACU

Air-Conditioning Unit

aj

Articulation/Adjustment

deb

Drop Edge Beam

dp

Downpipe

POS

Private Open Space

AAC

Autoclaved Aerated Concrete

Drainage/Sediment fence line

NOTES

- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
- ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
- DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
- ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

DRAWING:  
Landscape Plan

Working Drawing  
SCALE @ A3:  
As indicated

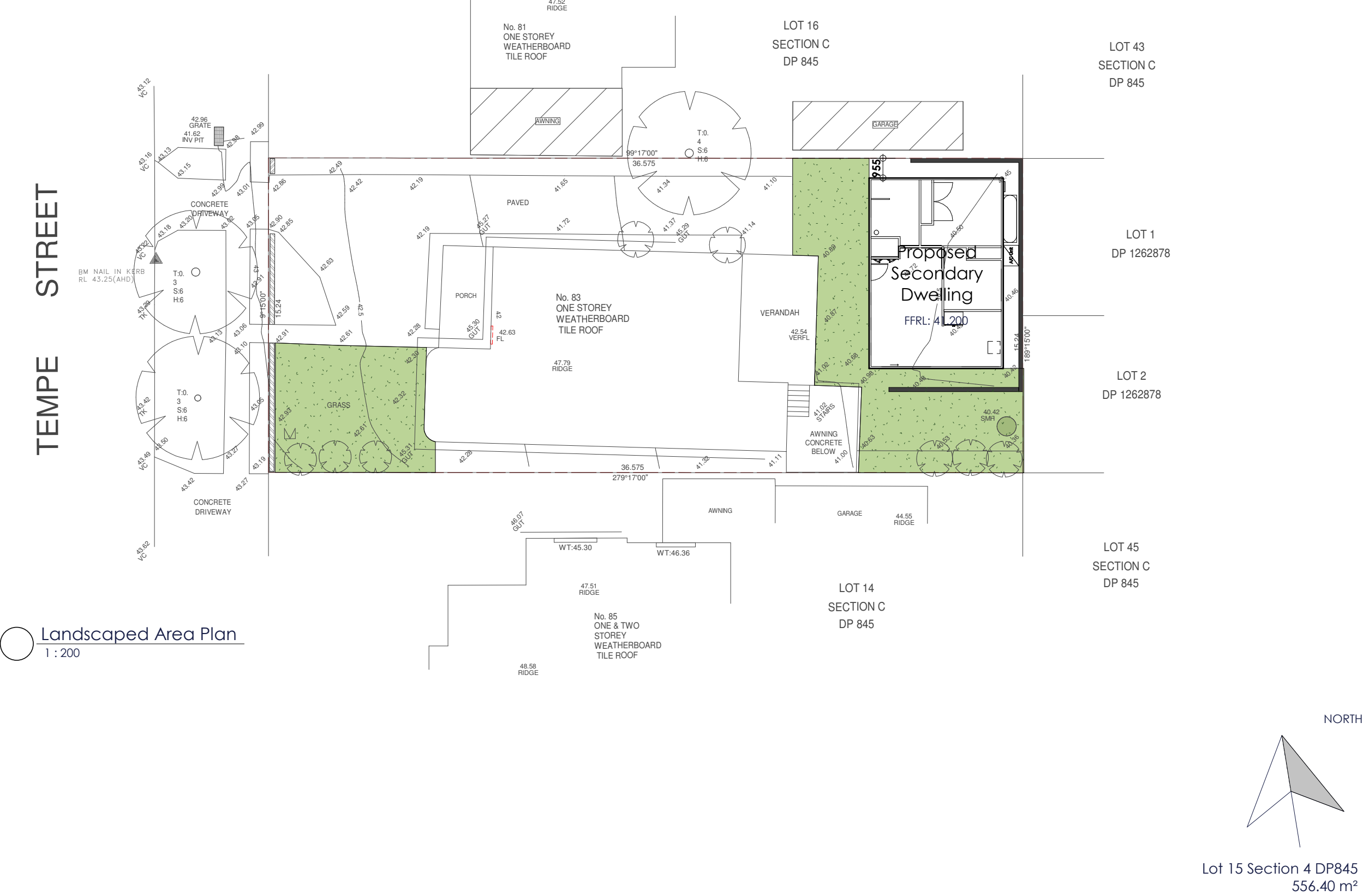
REVISION  
**G**  
15-3-2025

JOB NUMBER:  
**24154-6 j.g**

PAGE:  
**7**



Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567  
1300 163 163  
DEVINEDRAFTING.COM.AU



- Rainwater Tank

- A/C Unit

Legend

obs

Obscured

HWS

Hot Water Service

RWT

Rainwater Tank

ACU

Air-Conditioning Unit

aj

Articulation/Adjustment Joint

deb

Drop Edge Beam

dp

Downpipe

POS

Private Open Space

AAC

Autoclaved Aerated Concrete

Drainage/Sediment fence line

NOTES

1. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
3. ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
4. DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
5. ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

DRAWING:  
Drainage Plan

Working Drawing  
SCALE @ A3:  
As indicated

REVISION  
**G**  
15-3-2025

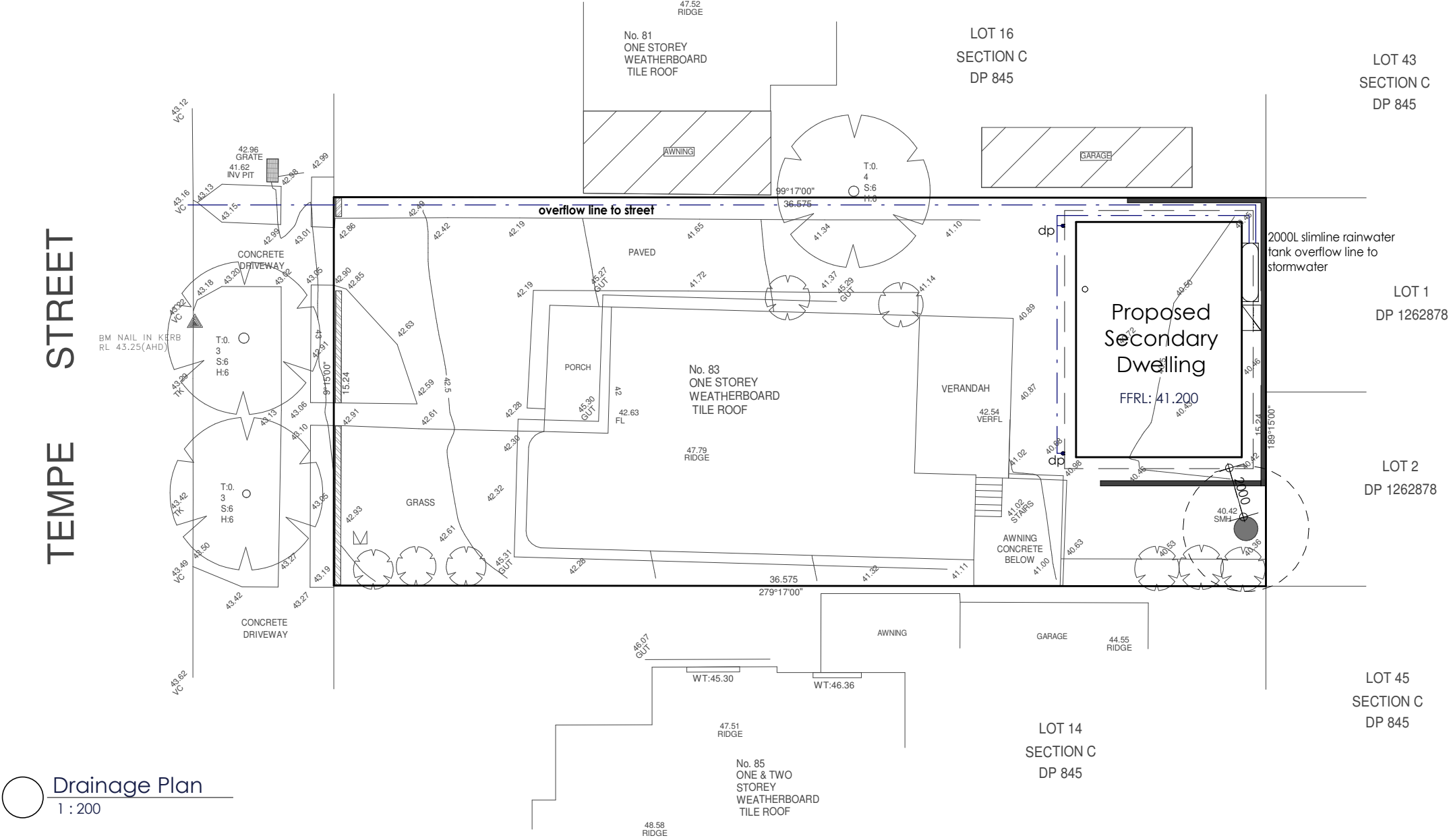
JOB NUMBER: 24154-6 j.g  
PAGE: 8

DEVINE

DRAFTING & DESIGN

Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567

1300 163 163  
DEVINEDRAFTING.COM.AU



Drainage Plan  
1 : 200

NORTH

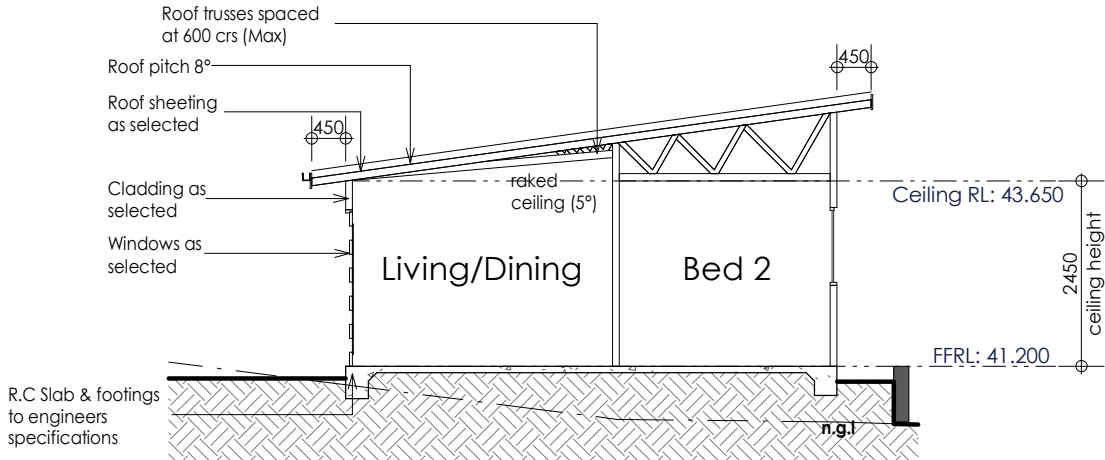
Lot 15 Section 4 DP845

556.40 m²

Window Schedule							
Number	Description	Height	Width	Head Height	Orientation	Frame & Glazing	Area
W1	aaw 2006	2058	610	2100	W	Single glazed low-e	1.26 m²
W2	aaw 2006	2058	610	2100	W	Single glazed low-e	1.26 m²
W3	aaw 2006	2058	610	2100	W	Single glazed low-e	1.26 m²
W4	asw 0618	600	1810	1530	S	Single glazed low-e	1.09 m²
W5	asw 1015	1030	1570	2100	E	Single glazed low-e	1.62 m²
W6	asw 1015	1030	1570	2100	N	Single glazed low-e	1.62 m²
W7	asw 0708 obs	772	850	2100	W	Single clear	0.66 m²






External Door Schedule						
Number	Description	Height	Width	Orientation	Frame & Glazing	Area
D1	Hinged Door	2040	820	W	Timber single clear	1.67 m²
D2	asd 2124	2100	2410	N	Single glazed low-e	5.06 m²

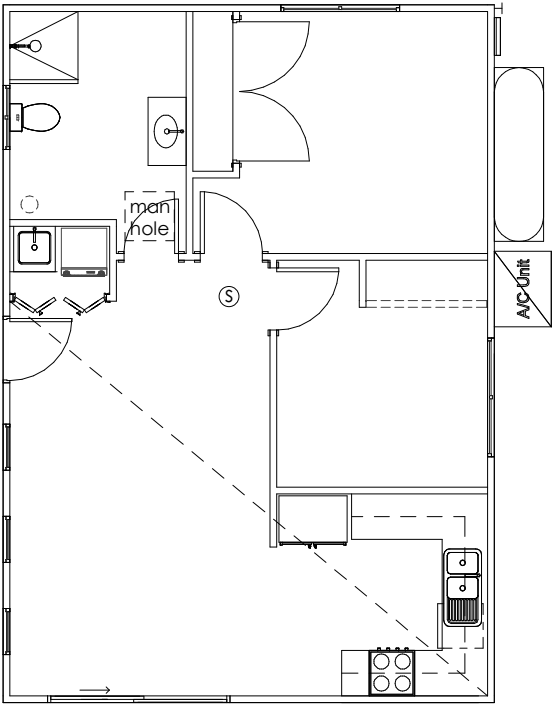
Internal Door Schedule			* Window head heights as per schedule * Standard internal door heights unless otherwise specified
Type Mark	Description	Count	
720	Hinged Door	1	
820	Hinged Door	2	
920x2	Double Hinged Robe Door	1	
1200 bfd	4 Panel Bi-fold Door	1	
Total: 5			



Section A  
1 : 100

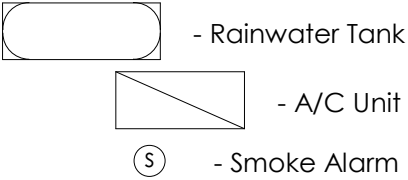
Basix Notes & Specifications

Site Area:		556.4m²							
Conditioned Floor Area:		48.2m²			Unconditioned Floor Area:		6.8m²		
Roof Area:		79.69 m²							
Water				3 Star - (>7.5 but <9 L/min)		4 Star - (>4.5 but <6 L/min)		4 Star - (>6 but <7.5 L/min)	
➤ Showerheads:								⊙	
		★		★★		★★★		★★★★	
➤ Toilets:								⊙	
➤ Kitchen Taps:								⊙	
➤ Basin Taps:								⊙	
➤ Rainwater Tank:								2000L	
➤ Roof Runoff:		0.00 m²			➤ Other Runoff:		0.00 m²		
➤ Connection To:		At least 1 garden tap and toilets							
➤ Reticulated Water Supply:									
Energy									
➤ Hot Water Service:								Gas Instantaneous - 6 star	
➤ Heating:		1-Phase ACU	3-Phase ACU	Solid fuel fireplace	Gas flued fireplace		EER	★	
						⊙	>2.5	★	
							2.5-3.0	★★	
							3.0-3.5	★★★	
							3.5-4.0	★★★★	
							>4.0	★★★★★	
➤ Cooling:		1-Phase ACU	3-Phase ACU	Evapor. cooling	Ceiling fans		EER	★	
						⊙	>2.5	★	
							2.5-3.0	★★	
							3.0-3.5	★★★	
							3.5-4.0	★★★★	
							>4.0	★★★★★	
➤ Photovoltaic System (PV):								Peak Output of 0kW	
➤ LED or Fluorescent Lighting to:		Min 80% of proposed light fittings							
➤ Cooktop & Oven:		Gas cooktop & electric oven							
Thermal Comfort									
➤ Insulation:									
		R2.5 to external walls							
		R2.0 to internal bath walls							
		R6.0 to ceiling							
		R1.3 to roof							
		R7.3 to raked ceiling (R6.0 to ceiling + R1.3 to roof)							

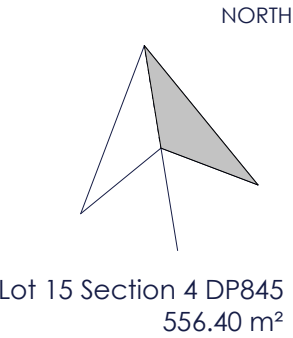


Electrical Plan  
1 : 100

Description	Symbol	Qty	Notes
Light Point			
Wall Light Point			
Downlight			
20W Fluoro			
Dimmer Switch			
2-Way			
3-Way			
Single G.P.O			
Double G.P.O.			
Ext. Single G.P.O.			
Ext. Double G.P.O.			
T.V. Point	+ TV		
Exhaust Fan			
2 in 1			
3 in 1			
Door Chime			
Smoke Alarm			
Ceiling Fan			
Sensor Light			
Phone Point	+ PH		
Gas Point	+ GAS		



Legend	
obs	Obscured
HWS	Hot Water Service
RWT	Rainwater Tank
ACU	Air-Conditioning Unit
aj	Articulation/Adjustment Joint
deb	Drop Edge Beam
dp	Downpipe
POS	Private Open Space
AAC	Autoclaved Aerated Concrete
---	Drainage/Sediment fence line



NOTES

- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
- ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
- DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
- ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

CLIENT:  
Builtwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

DRAWING:  
Electrical Plan

Working Drawing  
SCALE @ A3:  
As indicated

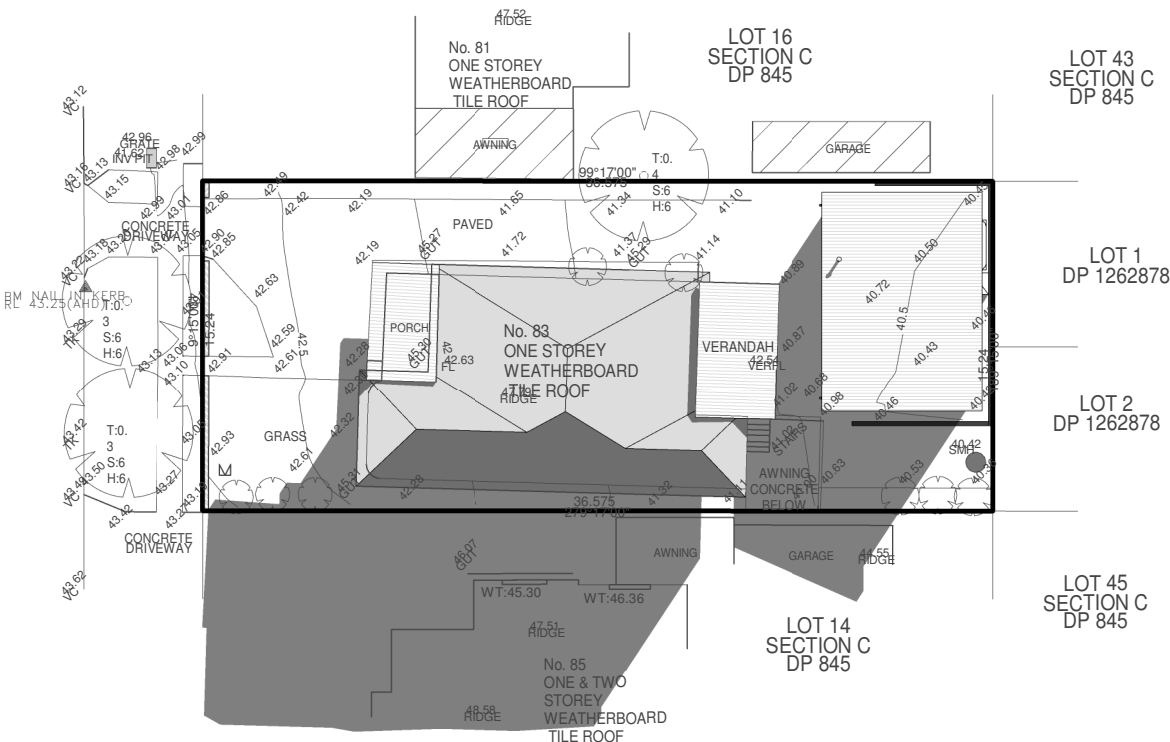
REVISION  
**G**  
15-3-2025

JOB NUMBER: 24154-6 j.g  
PAGE: 10



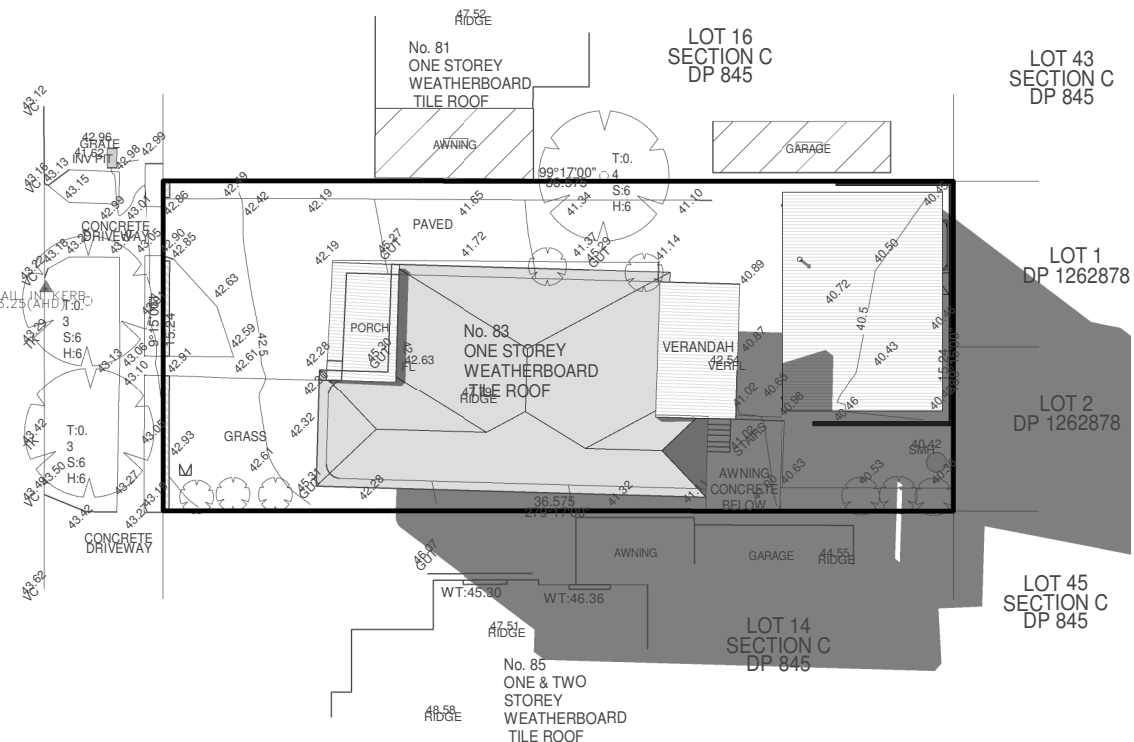
Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567  
1300 163 163  
DEVINEDRAFTING.COM.AU

TEMPE STREET



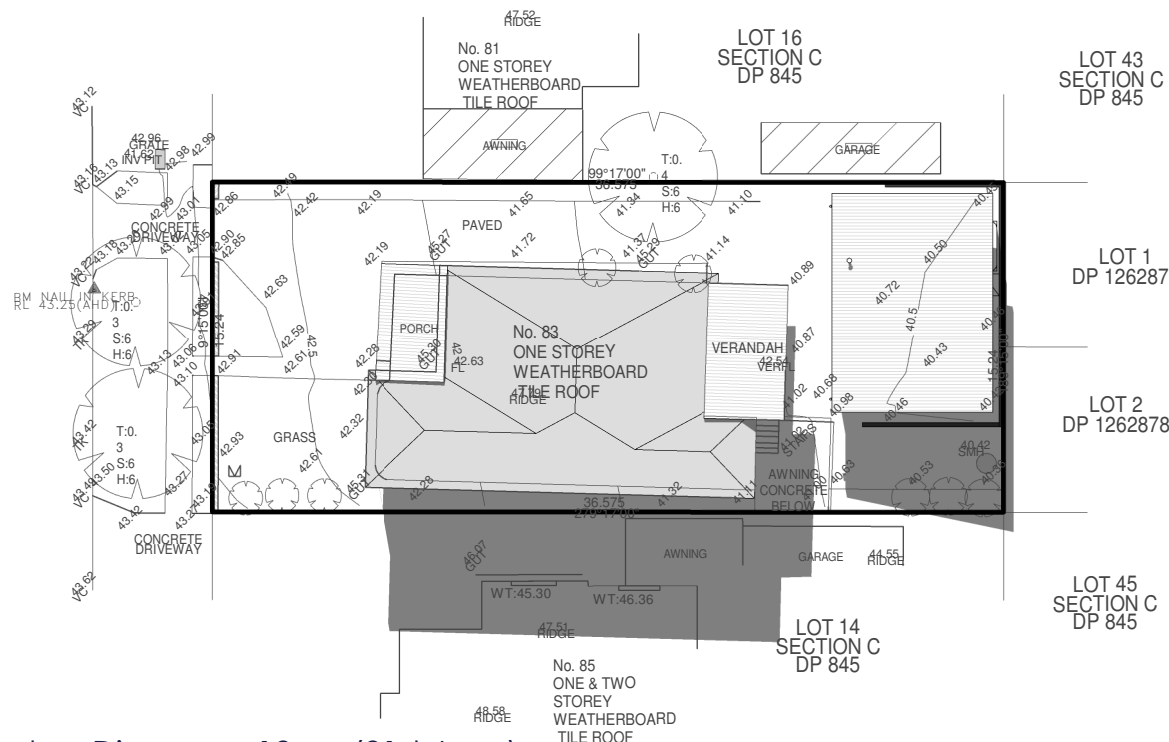
Shadow Diagram - 9am (21st June)  
1 : 350

TEMPE STREET



Shadow Diagram - 3pm (21st June)  
1 : 350

TEMPE STREET



Shadow Diagram - 12pm (21st June)  
1 : 350



Lot 15 Section 4  
DP845 556.40 m<sup>2</sup>

CLIENT NAME:  
Bultwise Projects

ADDRESS:  
**Lot 15 Section 4 DP845**  
**83 Tempe Street**  
**Greenacre, 2190**

Proposed Secondary Dwelling

APPROVAL & STAMP

NOTE: ONLY ONE CLIENT IS REQUIRED TO INITIAL/SIGN THE ENCLOSED PLANS SIGNIFYING THE ACCEPTANCE AND AGREEMENT OF THE DESIGN AND REQUIREMENT TO PAY ANY OUTSTANDING ASSOCIATED FEES

THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2025.

- NOTES
- LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE BY THE BUILDER AND ALL ASSOCIATED TRADES
  - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING AND ARE TO BE CHECKED AND CONFIRMED ON SITE
  - ALL UNITS OF MEASUREMENT ARE MM (MILLIMETERS) UNLESS OTHERWISE SPECIFIED
  - DIMENSIONS ARE TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO THE COMMENCEMENT OF WORKS
  - ANY ITEMS SHOWN OR DRAWN WITHIN THE ENCLOSED PLANS THAT ARE NOT LISTED OR DISPLAYED, ARE TO BE DEEMED AN EXCLUSION

**DEVINE**  
DRAFTING & DESIGN

Suite 5, Level 1, Harrington Plaza  
23 Fairwater Dr, Harrington Park  
NSW 2567  
1300 163 163  
DEVINEDRAFTING.COM.AU

Working  
Drawing  
SCALE @ A3  
1 : 350

JOB NUMBER:  
**24154-6 j.g**

REVISION  
**G**  
15-3-2025

PAGE  
**11**